



Board of Alderman Request for Action

MEETING DATE: 12/21/2021

DEPARTMENT: Development

AGENDA ITEM: Resolution 1010 - Smithville Townhomes Site Plan

REQUESTED BOARD ACTION:

A motion to adopt Resolution 1010 approving a site plan for Smithville Townhomes.

SUMMARY:

Adopting this resolution approves the site plan for eight townhomes to be constructed at 319 East Main Street.

PREVIOUS ACTION:

The Planning Commission reviewed and approved the Site Plan application at its December 14, 2021 meeting.

POLICY OBJECTIVE:

Increases housing density near the downtown core.

FINANCIAL CONSIDERATIONS:

n/a

ATTACHMENTS:

- | | |
|--|---|
| <input type="checkbox"/> Ordinance | <input type="checkbox"/> Contract |
| <input checked="" type="checkbox"/> Resolution | <input checked="" type="checkbox"/> Plans |
| <input checked="" type="checkbox"/> Staff Report | <input type="checkbox"/> Minutes |
| <input type="checkbox"/> Other: | |

RESOLUTION 1010

**A RESOLUTION APPROVING A SITE PLAN FOR SMITHVILLE
TOWNHOMES FOR 8 UNITS AT 319 EAST MAIN STREET**

WHEREAS the owners of 319 East Main Street submitted a proposed site plan for construction of eight, 1,500 ft² townhomes on the lot; and

WHEREAS staff completed its review of the application and recommended approval of the site plan with several proposed changes to the utility connections as well as requiring park fees for each of the eight units in accordance with the new site plan review process for R-3 zoned land; and

WHEREAS, the Planning Commission reviewed the staff recommendation at its December 14, 2021 meeting and recommends approval of the site plan with the conditions identified by staff, and;

**NOW THEREFORE BE IT RESOLVED BY THE BOARD OF ALDERMEN OF
THE CITY OF SMITHVILLE, MISSOURI, AS FOLLOWS:**

**THAT THE SMITHVILLE TOWNHOMES AT 319 EAST MAIN STREET ARE
APPROVED FOR CONSTRUCTION UPON APPROVAL OF THE FINAL
CONSTRUCTION PLANS AND PAYMENT OF PARKS FEES PRIOR TO
FINAL OCCUPANCY.**

PASSED AND ADOPTED by the Board of Aldermen and **APPROVED** by the Mayor of the City of Smithville, Missouri, the 21st day of December 2021.

Damien Boley, Mayor

ATTEST:

Linda Drummond, City Clerk

	STAFF REPORT
Date:	12-10-21
Prepared By:	Jack Hendrix
Subject:	319 E. Main St. – Smithville Townhomes Site Plan

This report addresses proposed findings for the Smithville Townhomes Site Plan at 319 E. Main St. With our recent changes to the Site Plan Review process, this project is the first submittal for our new R-3 district requirements. Those can be found here: <https://ecode360.com/37903737>

The standards of review of submittals for site plan approval follow the provisions of Section 400.410 of the code, and are listed below, with staff’s findings.

The extent to which the proposal conforms to these regulations.

The submittal, with staff proposed changes, conforms to the site plan standards for R-3 properties. The project includes the following items:

The building materials and colors are to be standards residential products used throughout Smithville by the current builder, with variations of color in the earth tones ranges approved in the code.

The massing and façade treatments are handled in two different methods: first will be the different materials used in different areas; and secondly with depth and height differences of the respective units at different elevations. The elevation differences will address grade changes on site, and eliminate the large, massive wall look.

Site layout is designed to focus the traffic onto the smaller classification roadway to the south and places the parking area on the side of the building from both the north and south roadways. This layout also gives the shortest distance of travel to each unit, which will also eliminate additional lighting.

Lighting is designed into the buildings with front and rear porch area lighting which will sufficiently illuminate the area.

Landscaping will be needed on the north and south of the site in accordance with the code, but until such time as the existing trees that can be saved are identified during construction, the size and location of additional landscaping cannot be determined. This approval is subject compliance once all existing vegetation that can be saved is identified.

The extent to which the development would be compatible with the surrounding area.

The surrounding area has older multifamily projects along with older single-family homes on R-3 zoned property. With this site located across from the Heritage Park entrance, the density of this housing fits with the future of downtown.

The extent to which the proposal conforms to the provisions of the City's subdivision regulations concerning the design and layout of the development, as well as water system, sewer system, stormwater protection and street improvements.

The design, with the staff changes noted on the plans make the public infrastructure issues fully compliant with the standards of the respective departments and reduce the maintenance requirements of the city with no public improvements needed.

The extent to which the proposal conforms to the policies and provisions of the City's Comprehensive Plan.

This development plan in the downtown area fully complies with higher density residential near the core of downtown and the recreational access to the lake via the trail.

The extent to which the proposal conforms to the adopted engineering standards of the city.

The staff changes to the plans make the project fully compliant with the adopted standards

The extent to which the locations of streets, paths, walkways and driveways are located so as to enhance safety and minimize any adverse traffic impact on the surrounding area.

The sole vehicular access point is on the lower classification street (in compliance with our standards) there will be ADA pedestrian access to the sidewalks to the south, and by focusing traffic to the south, there are fewer chances of traffic conflicts on Meadow than on Main Street.

The extent to which the buildings, structures, walkways, roads, driveways, open space and parking areas have been located to achieve the following objectives:

Preserve existing off-site views and create desirable on-site views;

Conserve natural resources and amenities available on the site;

Minimize any adverse flood impact;

Ensure that proposed structures are located on suitable soils;

Minimize any adverse environmental impact; and

Minimize any present or future cost to the municipality and private providers of utilities in order to adequately provide public utility services to the site.

The lot itself was previously developed with a single-family residence that was ultimately demolished. The project area will focus the onsite and offsite views towards the Heritage Park area, with limited east or west views as was the case prior.

Staff recommends approval of the project with the conditions that are both noted on the plans, as well as the landscaping provisions to be determined once the scope of existing vegetation that can be saved is identified, and payment of the park's fees prior to final occupancy approval by the city.

/s/

Jack Hendrix

Development Director

Smithville Townhomes

Part of Block 2 - Calvin Smith's Addition Smithville Clay County, Missouri



Index of Sheets:

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Erosion & Sediment Control Plan	6
Details	7

Prepared By:


Todd R. Polk, P.E.
 Project Engineer
 e: tpolk@cfse.com
 10/20/2021
 Date

Utility Information:

Power:	Every 888.471.5275	Fiber:	Spectrum 816.358.8833	Telephone:	AT&T 800.464.7928
	Platte/Clay Electric Cooperative 816.628.3121		KC Coyote/Isotech, Inc. 816.370.2546		Spectrum 816.358.8833
Water:	City of Smithville Bob Lemley 816.532.0577 utilities@smithvillemo.org		AT&T 800.695.3679		Vonage 888.218.9015
			HughesNet 888.659.5325		
Sewer:	City of Smithville Bob Lemley 816.532.0577 utilities@smithvillemo.org		Direct TV 877.916.5137		
			Dish Network 877.647.7793		
Cable:	Spectrum 816.358.8833		Century Link 855.530.5620		
Gas:	Spire 816.756.5252				

Site Data:

PROJECT ZONING: R-3
 PROJECT AREA: 0.79 ACRES

SIGNAGE: ALL SIGNAGE TO BE WALL MOUNTED SIGNS

FEMA: SUBJECT PROPERTY IS LOCATED IN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS DEPICTED ON FEMA FIRM MAP 29047C0102E EFFECTIVE DATE 08/03/2015

PARKING SUMMARY:

REQUIRED: 3 SPACES PER UNIT = 24 SPACES
 PROVIDED: 25 SPACES

BUILDING SUMMARY:

TOTAL FIRST FLOOR AREA: 7,510 SF
 GARAGE: 2,070 SF

LIVING: 5,440 SF
 TOTAL SECOND FLOOR (ALL LIVING): 7,510 SF

GREEN SPACE:

TOTAL LANDSCAPE AREA: 19,870 SF (58% OF SITE)
 INTERIOR GREENSPACE: 1,600 SF
 200 SF PER UNIT BETWEEN DRIVEWAYS

STORMWATER RUNOFF:

CONDITION	1-YR	10-YR	100-YR
PRE-DEV	1.24 CFS	3.03 CFS	4.97 CFS
POST-DEV	0.98 CFS	2.87 CFS	4.58 CFS

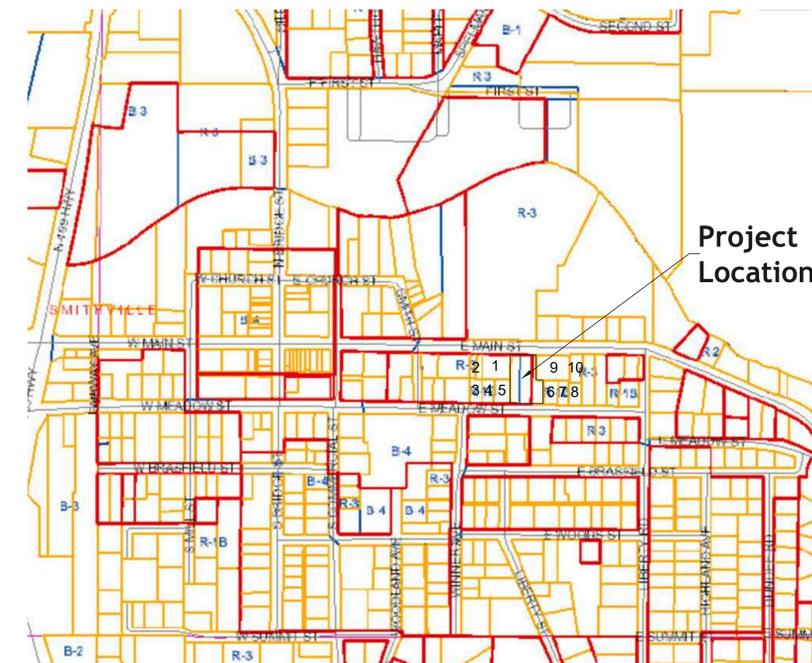
Adjacent Ownership:

1	MAIN STREET LEASING LLC.	313A E MAIN ST (R-3)
2	STEVE & MELISSA FISHER	311 A & B MAIN ST (R-3)
3	KEITH & CHERYLE TAYLOR	304 E MEADOW ST (R-1B)
4	LINDA MATTHEWS	306 E MEADOW ST (R-1B)
5	CHARLES & JESSIE NICHOLS	308 E MEADOW ST (R-1B)
6	RONALD MAJOR	314 E MEADOW ST (R-1B)
7	DON & ARLENE MCGEE	316 E MEADOW ST (R-1B)
8	BILL & SANDRA BOSEWILL	318 E MEADOW ST (R-1B)
9	ROBERT & NANCY LEMLEY	321 E MAIN ST (R-3)
10	JACOB PATCHER	325 E MAIN ST (R-3)

Project Developer:

Clayton Cox
 LMW Investments, LLC.
 319 E. Main Street
 Smithville, Missouri

Location Map:



SECTION 34-T53N-R33W



Kansas: 1.800.DIG.SAFE (344.7233)

Missouri: 1.800.DIG.RITE (344.7483)

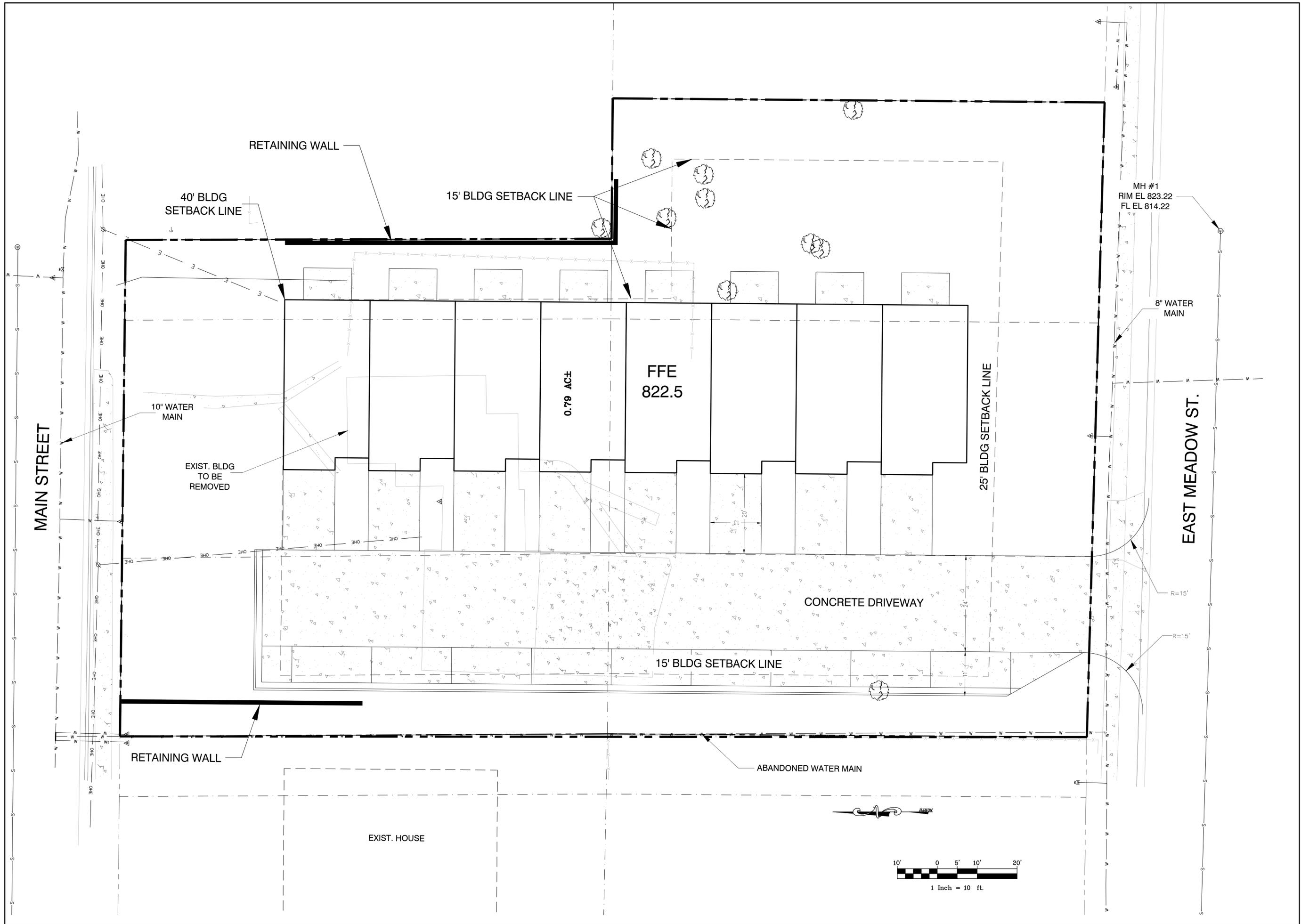
Mark	Description	Date

Designed by:	Date:	9/20/2021
Drawn by:	Reviewed by:	
MMK		
Submitted by:	Plot scale:	N/A
	File name:	
	Plot date:	

LMW INVESTMENTS, LLC.
 Cover Sheet

SMITHVILLE TOWNHOMES
 319 EAST MAIN STREET

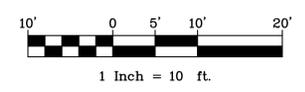
Sheet reference number:
 1
 Sheet 1 of 7



Mark	Description	Date

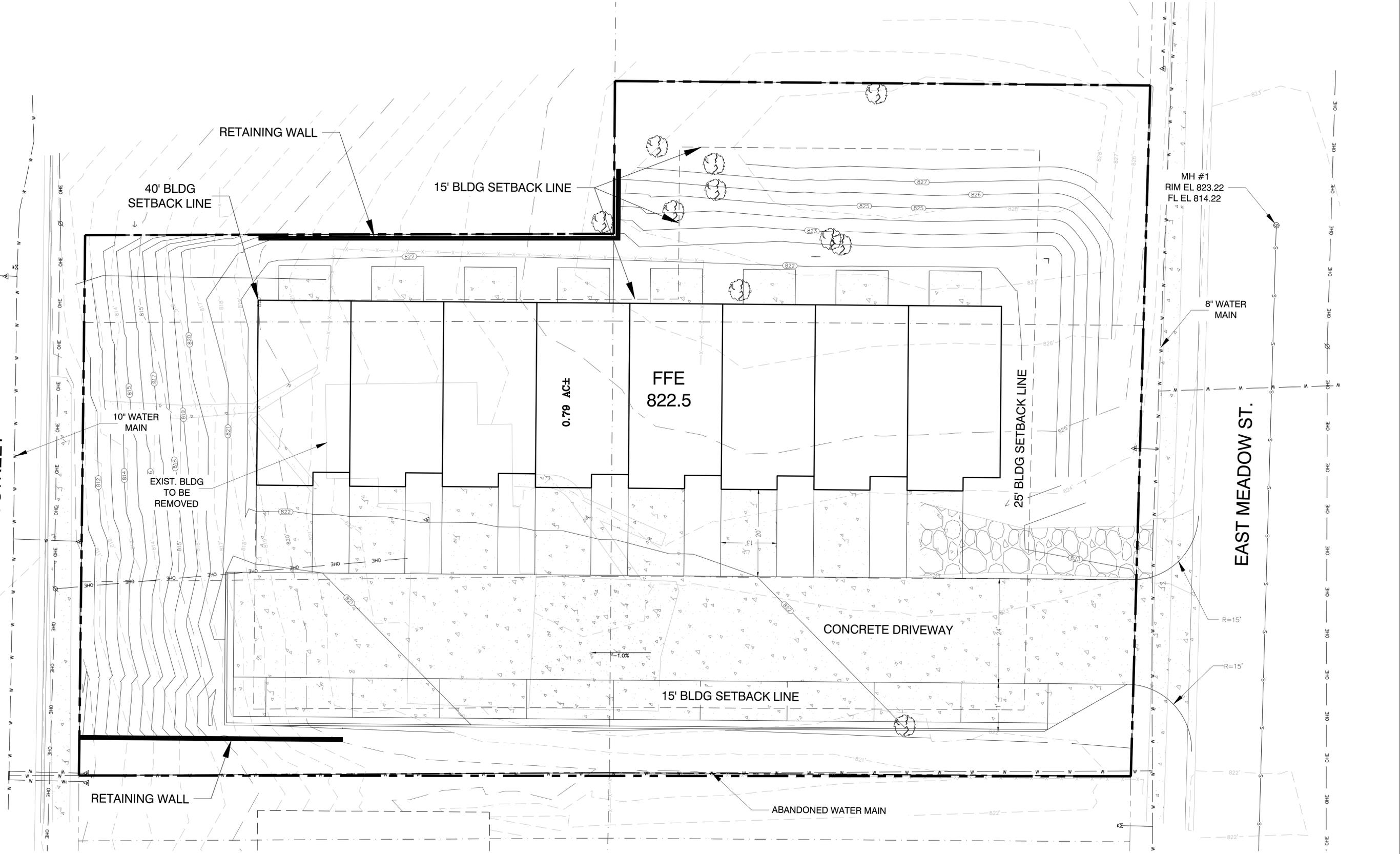
Designed by: TRP	Drawn by: LHL	Checked by: TRP	Date: 9/28/2021
Submitted by: TRP	File name:	Plot date:	Plot scale: 1"=10'
LMW INVESTMENTS, LLC. SITE PLAN			

SMITHVILLE TOWNHOMES
 319 EAST MAIN STREET



MAIN STREET

EAST MEADOW ST.



0.79 AC±
FFE
822.5

CONCRETE DRIVEWAY

MH #1
RIM EL 823.22
FL EL 814.22

8" WATER MAIN

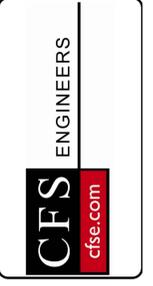
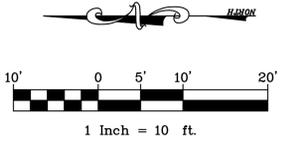
10" WATER MAIN

EXIST. BLDG TO BE REMOVED

ABANDONED WATER MAIN

LEGEND

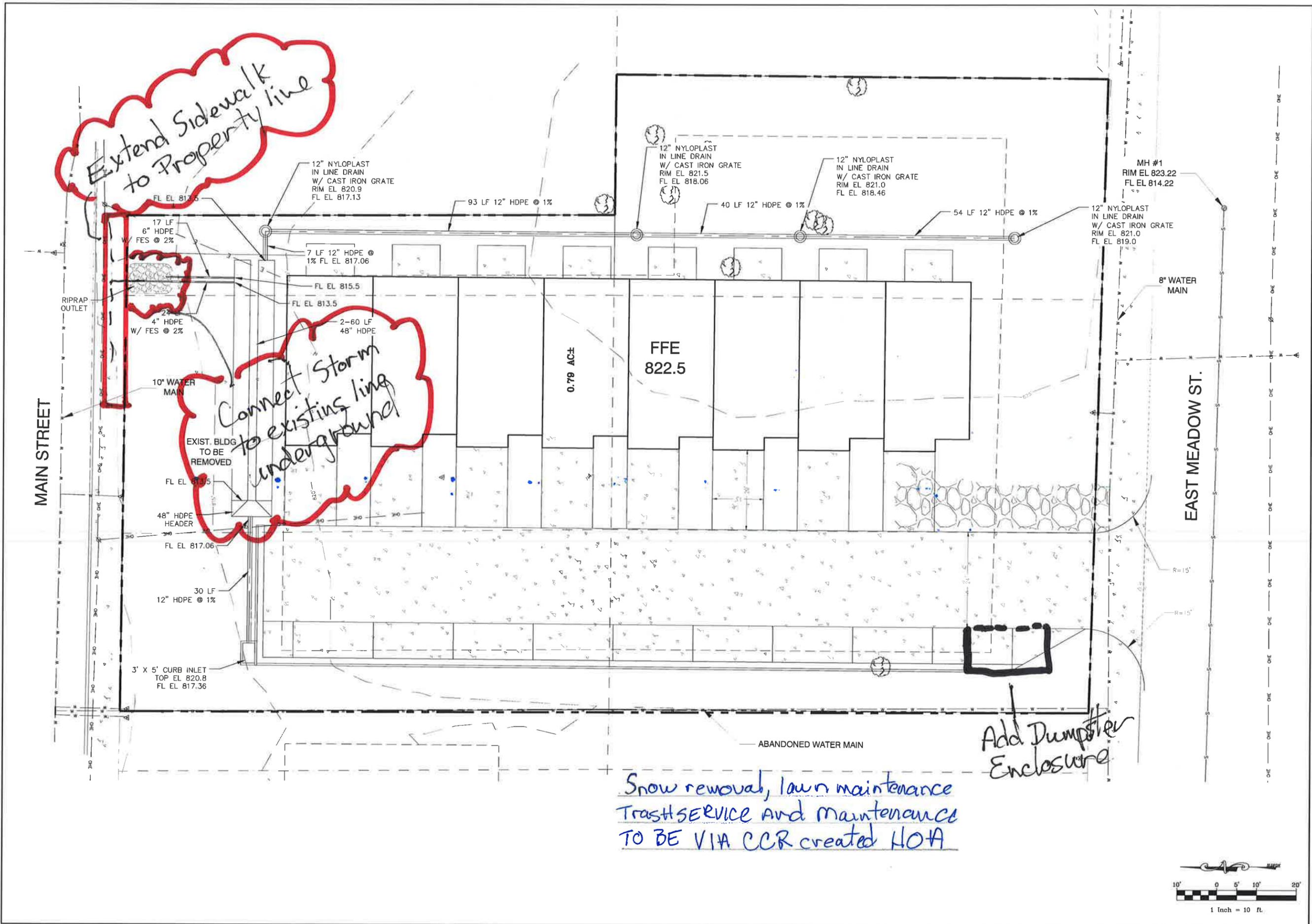
- FFE FINISHED FLOOR ELEVATION
- - - 901 - - - EXISTING CONTOURS
- 901 PROPOSED CONTOURS



Mark	Description	Date

Designed by: TRP	Drawn by: LHL	Date: 9/28/2021	Reviewed by: TRP	Plot scale: 1"=10'
LMW INVESTMENTS, LLC.			GRADING PLAN	

SMITHVILLE TOWNHOMES
319 EAST MAIN STREET



Extend Sidewalk to Property line

Connect Storm to existing line underground

Add Dumpster Enclosure

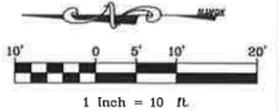
*Snow removal, lawn maintenance
Trash service and maintenance
TO BE VIA CCR created HOA*

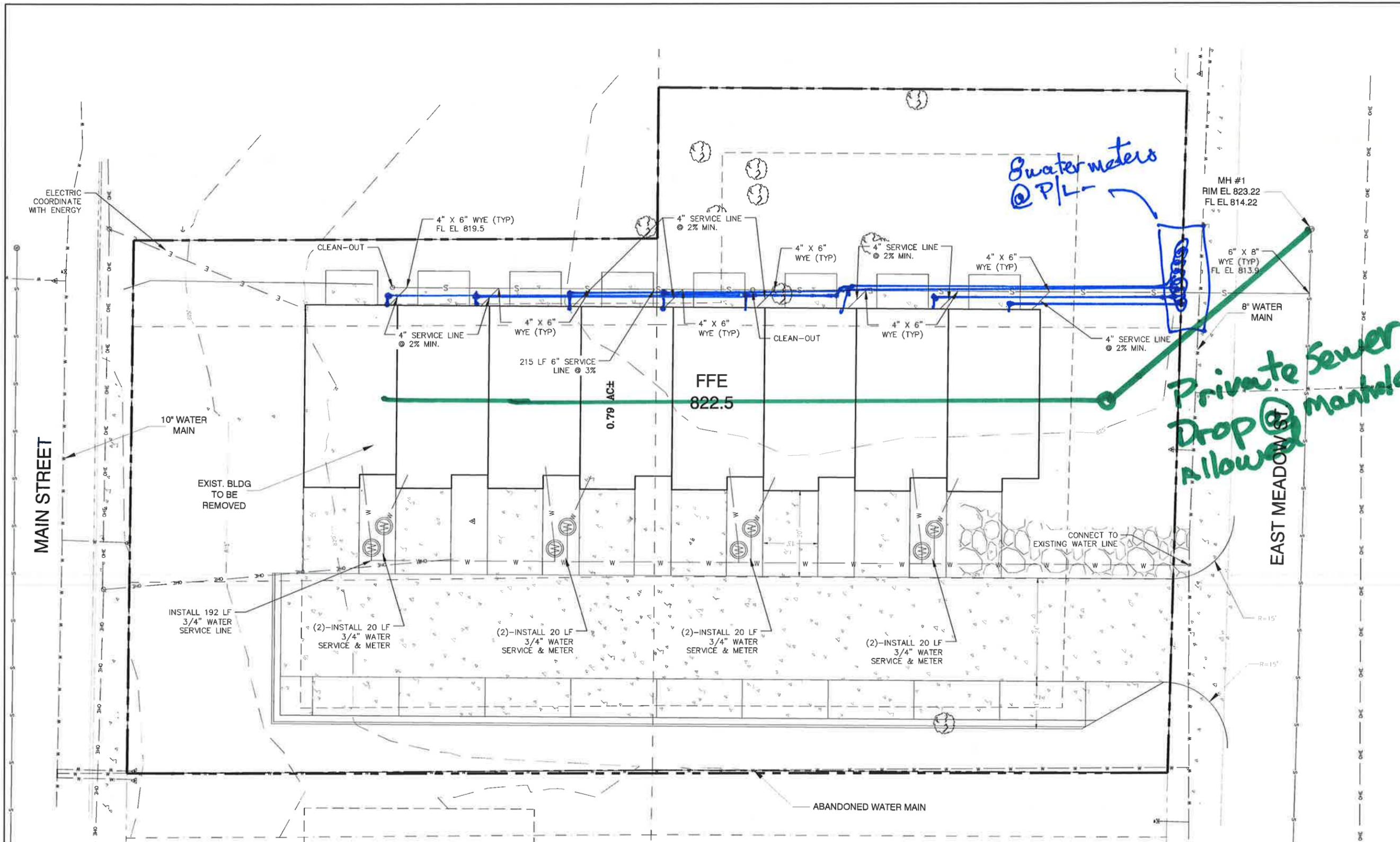
Mark	Description	Date

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Dwn by: JHL	Submitted by: TRP	Reviewed by: JHL
File name: DRNAGE PLAN	Plot date:	Plot scale: 1"=10'

LWV INVESTMENTS, LLC.
DRAINAGE PLAN

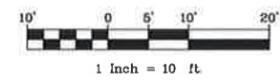
SMITHVILLE TOWNHOMES
319 EAST MAIN STREET





GENERAL NOTES:

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO THE CURRENT "CITY STANDARD" SPECIFICATIONS LAND DEVELOPMENT DIVISION, SMITHVILLE, MISSOURI, EXCEPT AS NOTED.
2. BOUNDARY INFORMATION, EXISTING UTILITIES, AND TOPOGRAPHIC FEATURES SHOWN ARE ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER, HOWEVER ALL UTILITIES ACTUALLY EXISTING MAY NOT BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY EXISTING TOPOGRAPHIC FEATURES AND EXISTING UTILITY LOCATIONS AND REPORT ANY DISCREPANCIES TO THE OWNER REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.
3. THE BASE DRAWINGS, INCLUDING EXISTING FEATURES AND TOPOGRAPHIC INFORMATION WERE PROVIDED TO THE ENGINEER BY THE DEVELOPER. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR DISCREPANCIES FROM DRAWINGS GENERATED.
4. ALL UTILITIES SHOWN OR NOT SHOWN DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
5. ALL APPLICABLE PERMITS MUST BE OBTAINED FROM THE CITY ENGINEER PRIOR TO COMMENCING CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY.
6. THE CONTRACTOR SHALL CONTACT THE SMITHVILLE MO PERMITS SECTION NO LESS THAN 24 HOURS PRIOR TO STARTING WORK ON THIS JOB, ANY CURB WORK AND FOR A FINAL INSPECTION BEFORE LEAVING THE JOB SITE.
7. SANITARY SEWER SERVICE LINES SHALL BE 1 1/4" HDPE OR 11 PRESSURE PIPE AND SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4'.
8. WATER SERVICE LINES SHALL HAVE A COVER OF NOT LESS THAN FOUR (4) FEET NOR MORE THAN (5) FEET, UNLESS OBSTRUCTIONS REQUIRE DEEPER EXCAVATION FOR CLEARANCE.

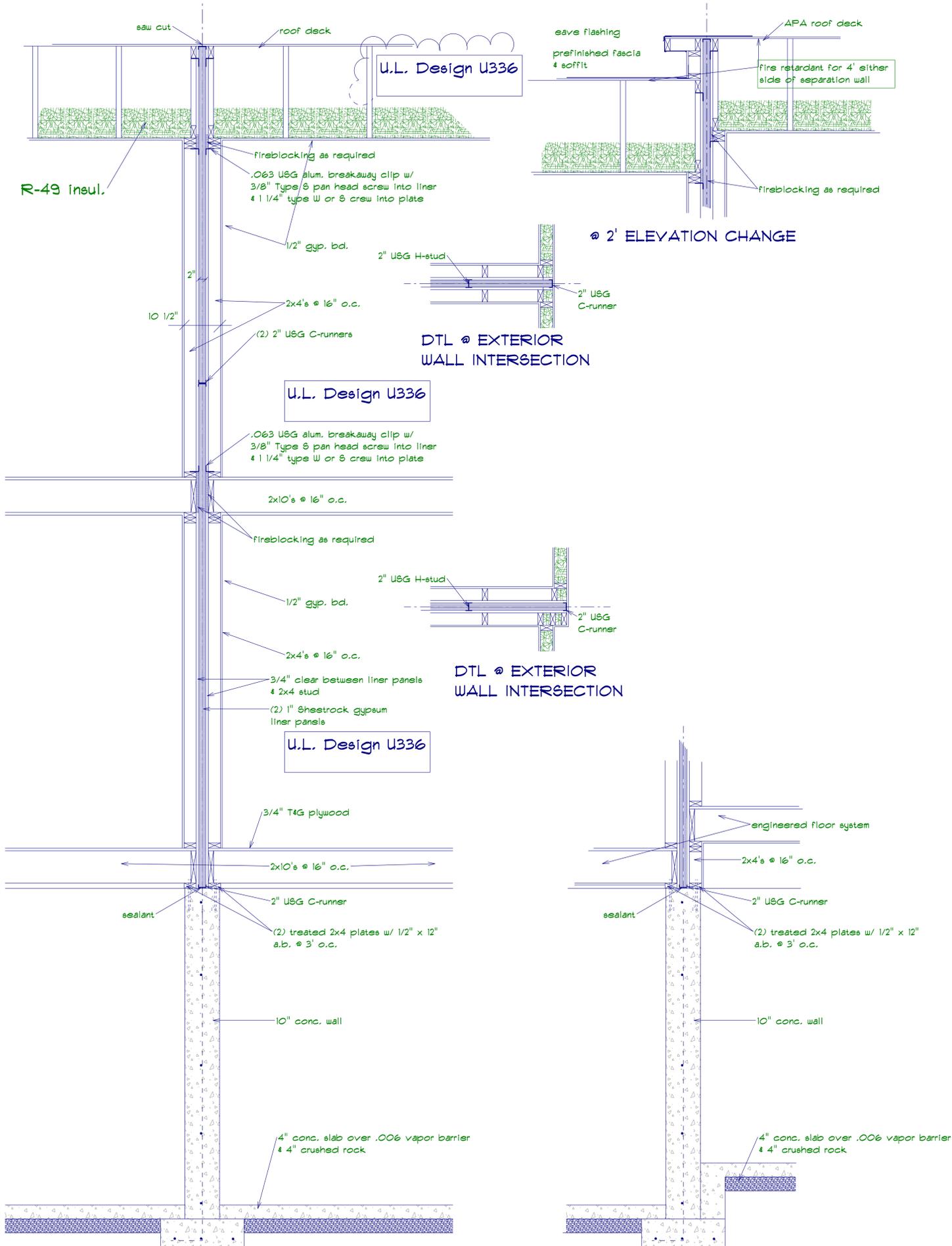


Date	Description	Drawn

Date	Drawn by	Checked by	Scale
9/28/2021	MM	TRP	1"=10'

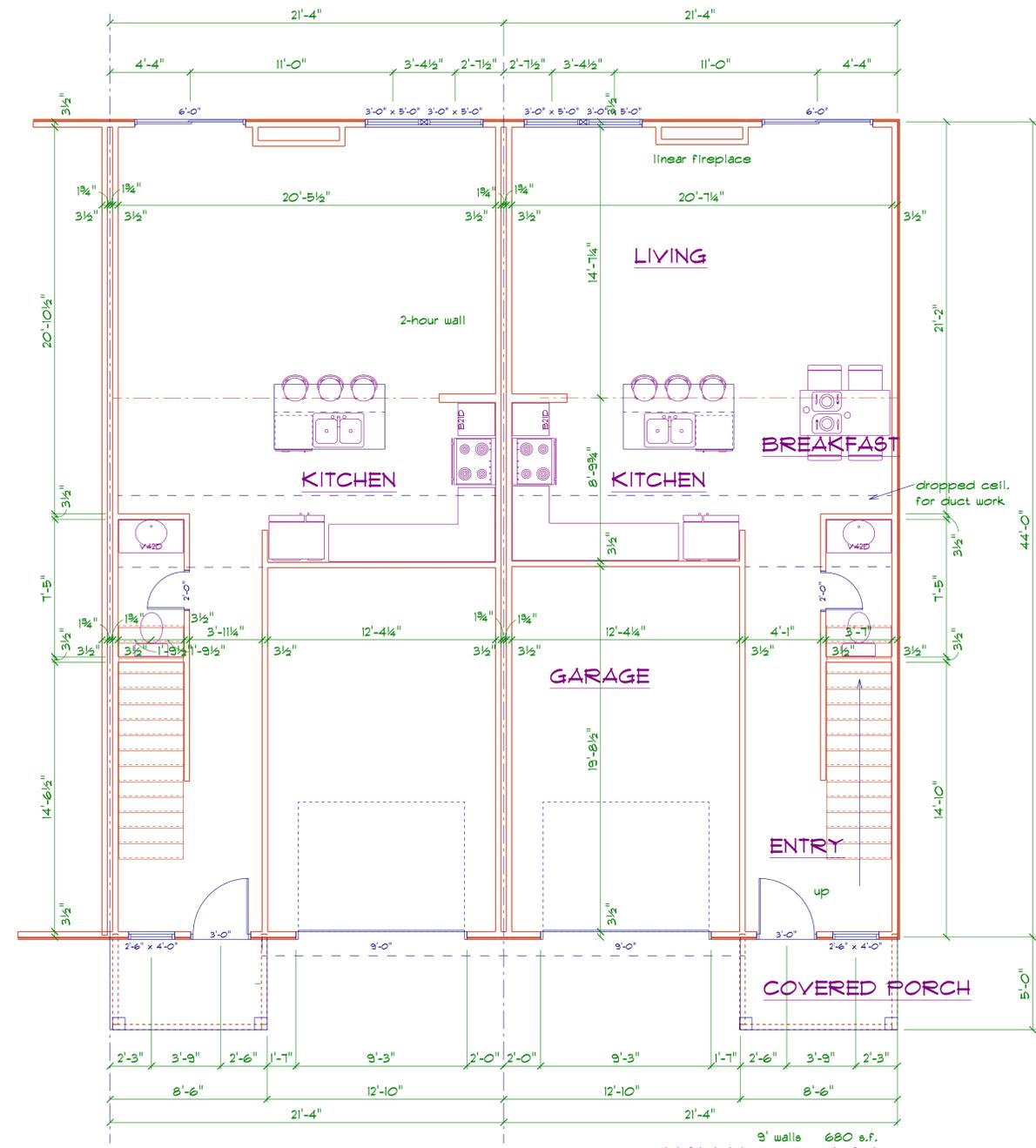
LMW INVESTMENTS, LLC.
UTILITY PLAN

SMITHVILLE TOWNHOMES
319 EAST MAIN STREET



PARTY-WALL DETAIL @ 2' ELEVATION CHANGE

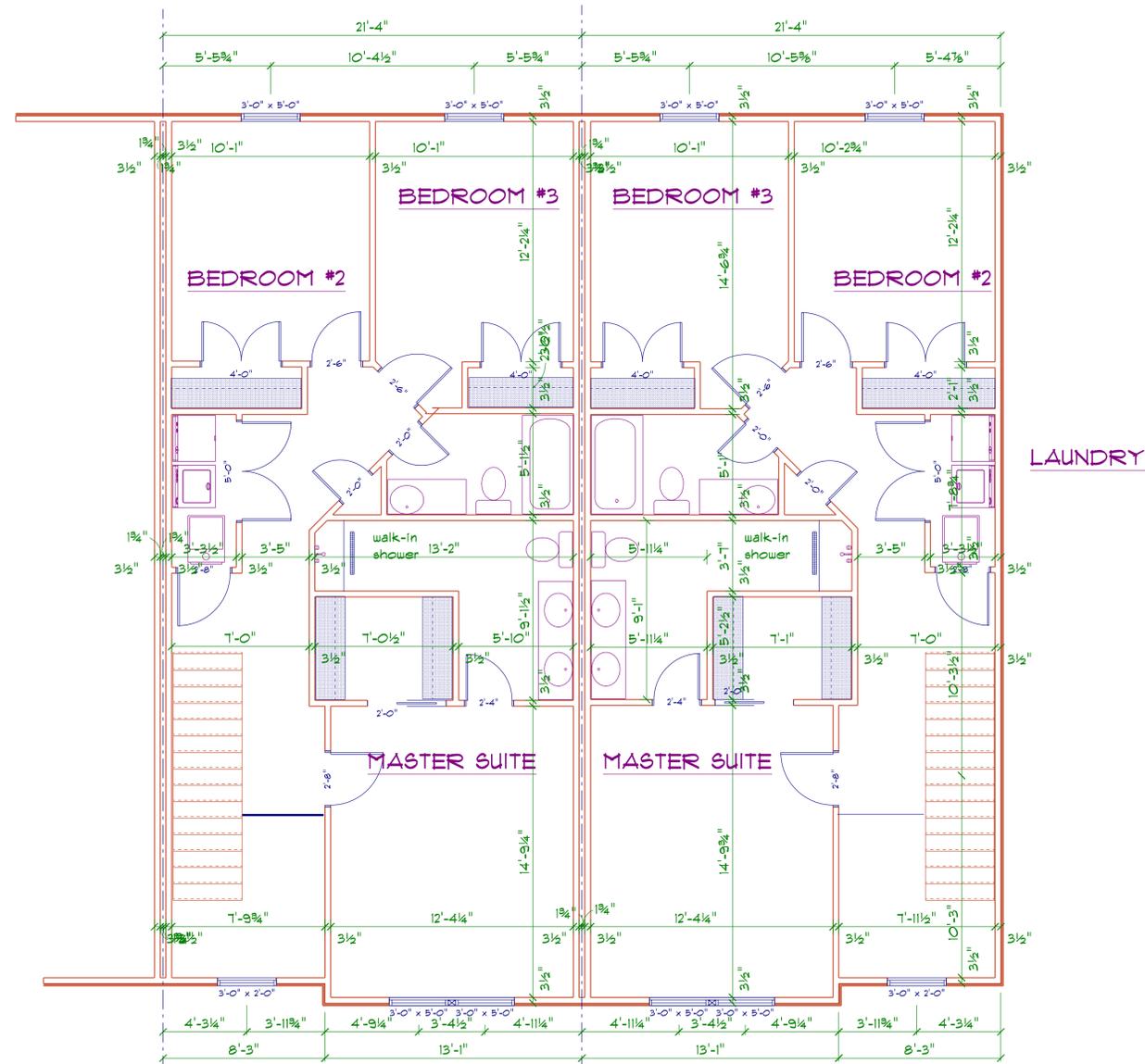
3/4" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

ArchiTecture <small>916-622-5013</small>	Dennis E. Tuck, Architect 12319 Moffitt Liberty, MO 64068	3-unit Townhouse Project Clayton Cox	GROUND SNOW LOAD - 20#/S.F. WIND SPEED - 115 M.P.H. SEISMIC DESIGN CATEGORY - A FROST LINE DEPTH - 36"
	Sheet 1	Monday, November 12, 2018	Job. NO. 21.082

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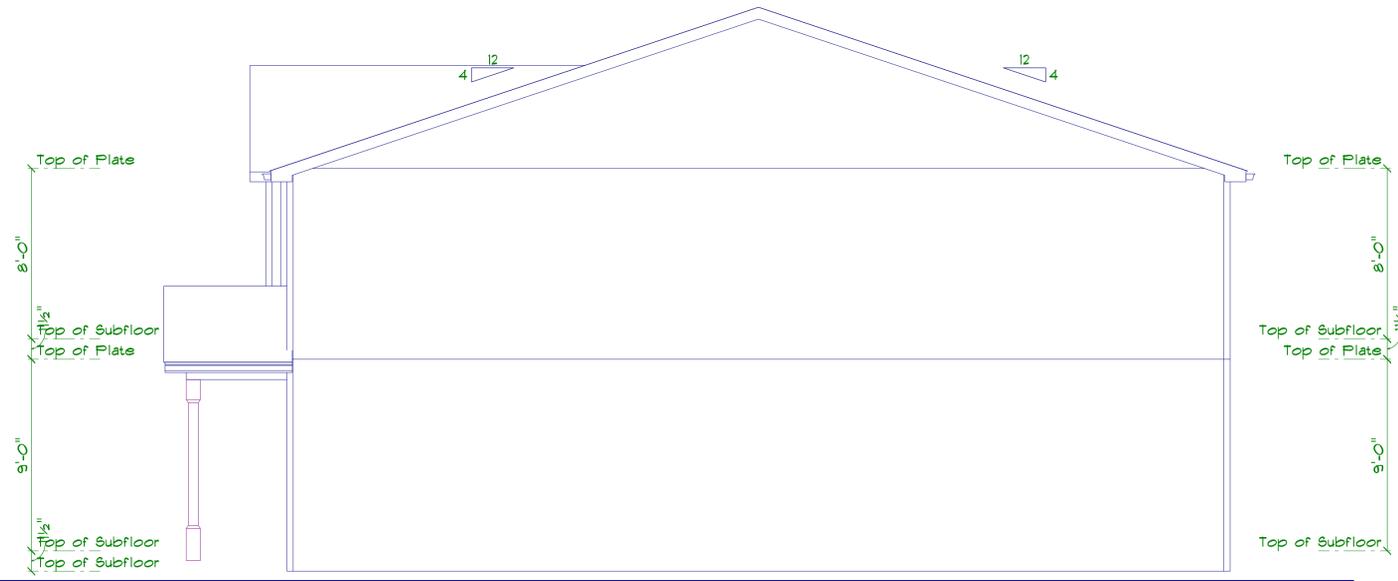
828 s.f.

SECOND FLOOR PLAN

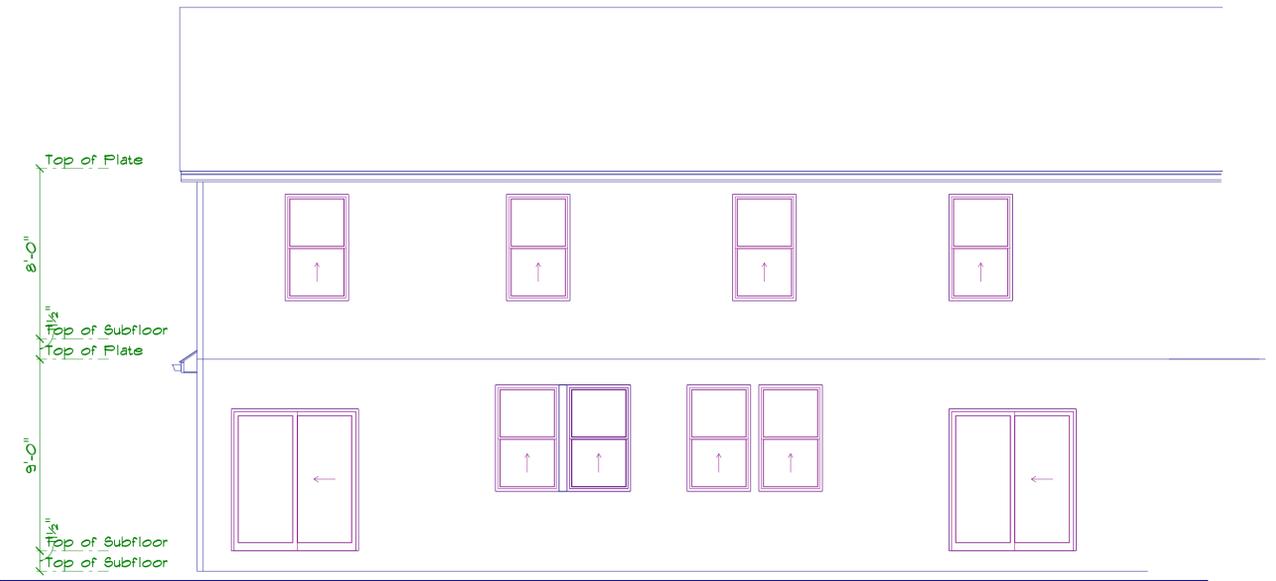
SCALE: 1/4" = 1'-0"

<p>ArchiTucture 816.628.5013</p>	<p>Dennis E. Tuck, Architect 12319 McFitt Liberty, MO 64068</p>	<p>8-unit Townhouse Project Clayton Cox</p>	<p>GROUND SNOW LOAD - 20#/s.f. WIND SPEED - 115 M.P.H. SEISMIC DESIGN CATEGORY - A FROST LINE DEPTH - 36"</p>
	<p>Sheet 2</p>	<p>Monday, November 1, 2020</p>	<p>Job. NO. 21.082</p>

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RIGHT ELEVATION left side reversed
SCALE: 1/4" = 1'-0"

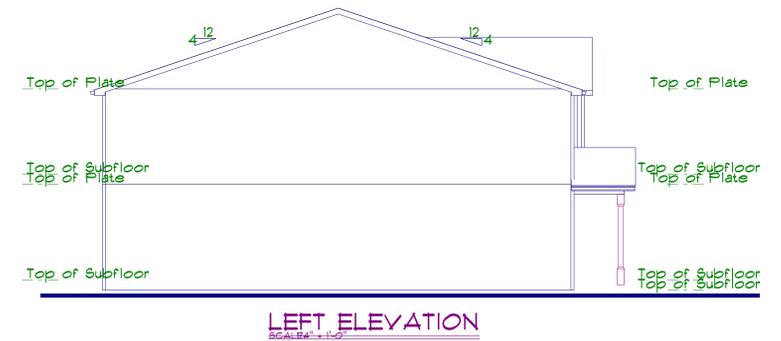
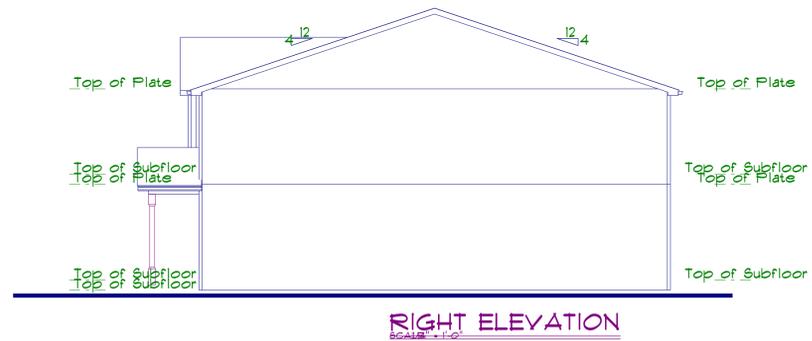


PARTIAL REAR ELEVATION
SCALE: 1/4" = 1'-0"



PARTIAL FRONT ELEVATION
SCALE: 1/4" = 1'-0"

<p>Archituckture 816.622.5013</p>	
<p>Sheet 3</p>	<p>Monday, November 1, 2021</p>
<p>Job. NO. 21.082</p>	<p>Dennis E. Tuck, Architect 12319 Moffitt Liberty, MO 64068</p>
<p>8-unit Townhouse Project Clayton Cox</p>	
<p>GROUND SNOW LOAD - 20#/S.F. WIND SPEED - 115 M.P.H. SEISMIC DESIGN CATEGORY - A FROST LINE DEPTH - 36"</p>	



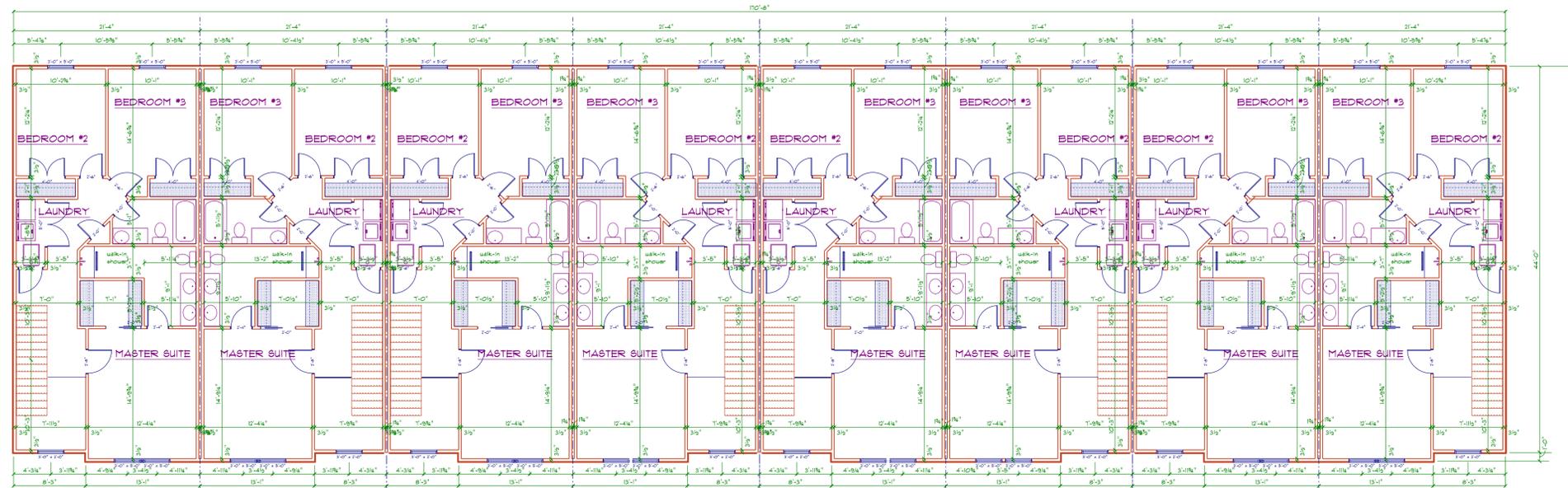
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 WIND SPEED - 115 M.P.H.
 SEISMIC DESIGN CATEGORY - A
 FROST LINE DEPTH - 36"

8-unit Townhouse Project
 Clayton Cox

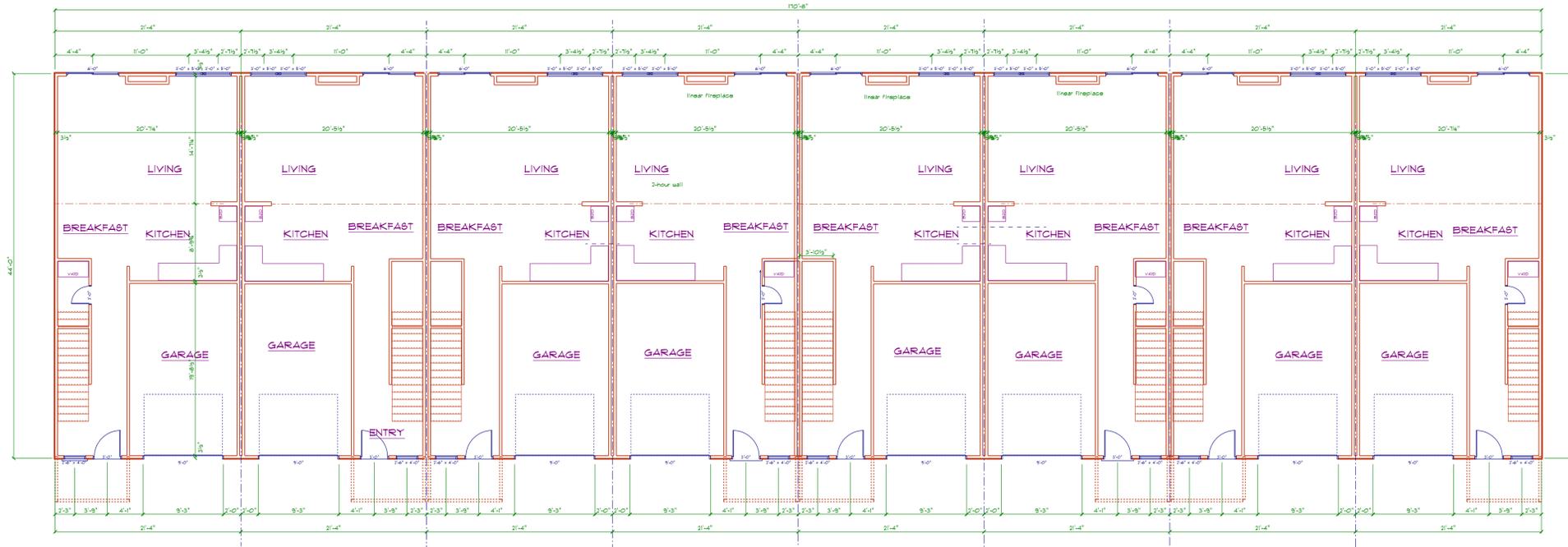
Dennis E. Tuck,
 Architect
 12319 Merfitt
 Liberty, MO 64068

ArchiTucture
 816.628.5013

Sheet
 4
 Monday, November 1, 2021
 Job. NO.
 21.082



UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

GROUND SNOW LOAD - 20#/S.F.
WIND SPEED - 115 M.P.H.
SEISMIC DESIGN CATEGORY - A
FROST LINE DEPTH - 36"

8-unit Townhouse Project
Clayton Cox

Dennis E. Tuck,
Architect
12319 Moffitt
Liberty, MO 64068

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Sheet
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21.082

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